



SEDGWICK COUNTY, KANSAS
FINANCE DEPARTMENT
Purchasing Section
525 N. Main, Suite 823 ~ Wichita, KS 67203
Phone: 316 660-7255 Fax: 316 383-7055
<http://sedgwickcounty.org/finance/purchasing.asp>

**ADDENDUM 1
RFB 18-0011
MURDOCK TAG REMODEL**

February 27, 2018

The following is to ensure that vendors have complete information prior to submitting a bid, please review the following.

Firms interested in submitting a bid, must respond with complete information and **deliver on or before 1:45 p.m. CST March 6, 2018**. Late bids will not be accepted and will not receive consideration for final award.

“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID RESPONSE PAGE.”

Kim Bush, CPPB
Purchasing Agent

CONTINUED ON NEXT PAGE

This Addendum is hereby made part of the Contract Documents to the same extent as though it were originally included therein.

All Contractors, Subcontractors and suppliers are reminded that they shall be familiar with all Addenda items (as well as all parts of the Construction Documents) so as to understand the extent of their work and its interrelation with other trades.

To all bidders for furnishing all labor and materials necessary for the following Contract:

SEDGWICK COUNTY OMD REMODEL

200 W. Murdock
Wichita, KS 67203

Prepared by:
Schaefer Johnson Cox Frey Architecture, Inc.

GENERAL:

ITEM AD1-G01

PREBID MEETING QUESTION:

Q: Would it be possible to have the building open for an hour or 2 for subcontractors to look at jobsite?

A: *The building will be open for inspection on Thursday, March 1, 2018 at 9am for 30 minutes. No one will be available to answer questions but contractors are welcome to bring subs and get any additional measurements or pictures they need to create their bids. For future reference please refer to the **Invitation to Bid** document, **Pre-Bid Meeting** section which states 'General contractors are encouraged to have their subcontractors attend this meeting to view the site conditions.'*

ARCHITECTURAL:

ITEM AD1-A01
REVISION

DRAWING SHEET, A21.1, KEYED NOTES:

Replace drawing sheet A21.1 with attached drawing sheet A21.1R including revisions for keyed notes 2.69, 2.70, 2.71, 2.72 and 2.73.

ITEM AD1-A02
ADDITION

DRAWING SHEET A24.1:

Replace drawing sheet A24.1 with attached drawing sheet A24.1R including replacement of rotted trim at north end of mansard on west side of building.

ITEM AD1-A03
CLARIFICATION

PREBID MEETING, Exterior Brick:

No brick is anticipated to be replaced once entrance vestibule is removed.

ITEM AD1-A04
CLARIFICATION

PREBID MEETING, Exterior Trim:

No 1x dentil molding and trim is anticipated to be replaced once entrance vestibule is removed.

ITEM AD1-A05
CLARIFICATION

PREBID MEETING, Queuing Room 112:

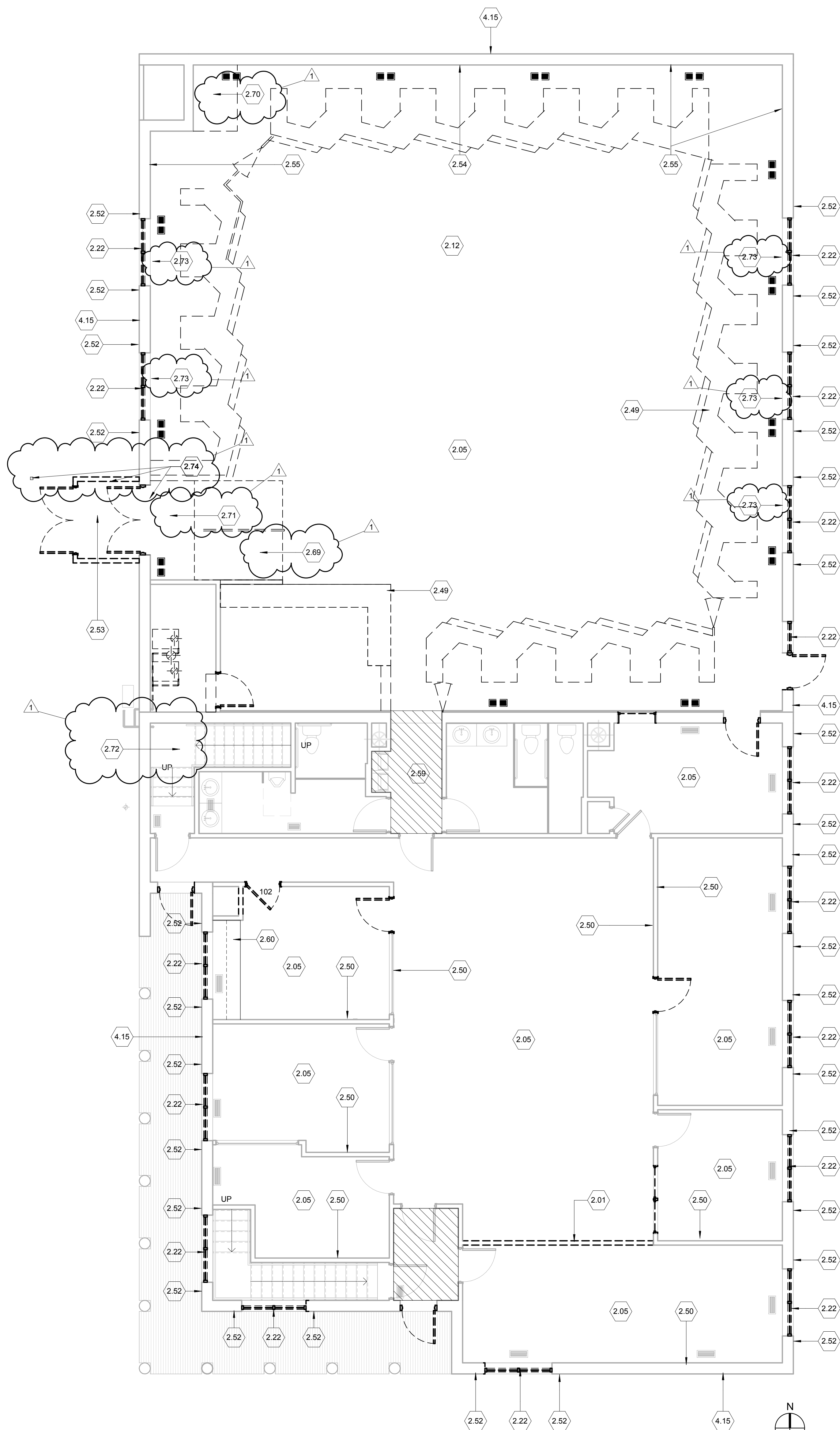
After concrete ramp is removed up to the landing, there will be an approximate 7" high landing inside door 112.

GENERAL NOTES

- G.C. SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO BID.
- REF: 'ALTERATIONS' AND 'CUTTING AND PATCHING' IN 01 70 00 OF THE SPEC. THIS SHEET IS INTENDED FOR GENERAL INFORMATION. G.C. SHALL BE RESPONSIBLE FOR REMOVING EQUIPMENT AND DEVICES, CUT AND PATCH WORK, ETC. NECESSARY FOR NEW AND REMODEL CONSTRUCTION. COORDINATE WORK ON DEMO SHEETS WITH WORK ON FLOOR PLAN SHEETS. REF. MECH. AND ELEC. FOR DEMO. AND CUT AND PATCH WORK REQUIRED BY MECH. AND ELEC. WORK.
- DASHED LINES REPRESENT ITEMS FOR REMOVAL OR RELOCATION - REF. KEYED NOTES.
- OWNER SHALL HAVE FIRST SALVAGE RIGHTS ON ALL ITEMS REMOVED FROM BLDG. G.C. SHALL VERIFY ALL ITEMS TO BE SALVAGED WITH OWNER AND COORDINATE WITH OWNER AS REQUIRED. ITEMS TO BE SALVAGED ARE TO BE REMOVED TO A LOCATION ON SITE AS DESIGNATED BY OWNER. ITEMS NOT SALVAGED SHALL BE REMOVED AND DISPOSED BY CONTRACTOR. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO: FURNITURE, CABINETS, DEVICES, EQUIPMENT, PLUMBING, MECHANICAL, ETC. CONTRACTOR SHALL CUT AND PATCH FLOORS, WALLS, CEILINGS, AND ROOFS AS REQUIRED FOR PLACEMENT OF NEW PIPING, CONDUITS, DEVICES, STRUCTURE, ETC. REF. ALL PLANS FOR LOCATIONS.
- G.C. SHALL PROTECT ALL STRUCTURAL ELEMENTS IN BUILDINGS TO REMAIN.
- G.C. SHALL VERIFY ALL NEW OPENINGS FOR PIPING, DUCTS, AND CONDUIT WITH THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. DO NOT CUT THROUGH CONCRETE FLOOR/ROOF BEAMS, CONCRETE FLOOR/ROOF JOISTS, CONCRETE COLUMNS, STEEL COLUMNS, OR STEEL ROOF JOISTS UNLESS NOTED ON THE PLANS.
- G.C. SHALL PROTECT ALL EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN. G.C. SHALL REPAIR DAMAGE TO EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN.
- CONTRACTOR SHALL PATCH, REPAIR AND PAINT ALL SURFACES RESULTING FROM DEMOLITION WORK. ALL PATCHES ARE TO MATCH ADJACENT FINISHES AS CLOSELY AS POSSIBLE. WALL OR FLOOR SURFACES WHERE MILLWORK, ELECTRICAL DEVICES OR MECHANICAL EQUIPMENT IS REMOVED SHALL BE PATCHED AND PAINTED.
- CONTRACTOR SHALL REMOVE ALL EXISTING SWITCHES, OUTLETS, FIRE ALARM DEVICES, INTERCOM DEVICES, SPEAKERS, HOLD-OPENS, POWER STRIPS ETC. WHICH ARE NOT RECONNECTED. PROVIDE STAINLESS STEEL COVER PLATES OVER J-BOXES WHICH ARE NO LONGER BEING USED. REMOVE ALL EXPOSED CONDUIT/WIRE MOLD WHICH IS NO LONGER BEING USED. PATCH AND PAINT WALL.
- CONTRACTOR SHALL REMOVE ALL MECH./PLUMBING EQUIPMENT AND PIPING WHICH IS NOT RECONNECTED. SUCH ITEMS SHALL INCLUDE BUT NOT LIMITED TO: VENTS, RADIATORS, VENTILATORS, WATER AND STEAM SUPPLY AND RETURN LINES, SEWER LINES, GAS LINES, INSULATION, ESCUTCHEONS, ELECTRICAL CONNECTIONS, AND ASSOCIATED CONSTRUCTION EXPOSED TO VIEW. CAP LINES AS REQUIRED. PIPING IN TUNNELS TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION WORK.
- FLOORING TO BE REMOVED SHALL BE REMOVED TO CONCRETE (OR EXIST. SUB-FLOOR STRUCTURE). ALL GLUE, GROUT, AND RESIDUE SHALL BE REMOVED TO PROVIDE A CLEAN BARE SURFACE.
- G.C. SHALL SALVAGE AND STOCKPILE BUILDING PRODUCTS FROM DEMOLITION TO BE USED FOR PATCHWORK. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO DOORS, CEILING TILE, LIGHT FIXTURES, MECHANICAL DIFFUSERS, MOLDING, TRIM, SPECIAL EQUIPMENT, ETC. - REF. SPECIFICATIONS.
- ALL CHALKBOARDS, TACKBOARDS, PROJECTION SCREENS, BLINDS, ETC. ARE TO BE REMOVED FROM AREAS BEING REMODELED IF THEY CONFLICT WITH THE WORK WHETHER NOTED ON PLANS OR NOT. WALL SURFACES BEHIND BOARDS ARE TO HAVE GLUE REMOVED AND PATCHED AS REQUIRED TO MATCH ADJACENT SURFACES WHERE LEFT EXPOSED. G.C. SHALL VERIFY ITEMS TO BE SALVAGED.
- IN ROOMS WHERE NEW ACOUSTICAL CEILINGS ARE INSTALLED ABOVE ACOUSTICAL CEILINGS WHICH ARE REMOVED, PATCH WALL WHERE ACOUSTICAL CEILING IS REMOVED.
- ALL EXISTING EXTERIOR WINDOW SILLS TO REMAIN.

KEYED NOTES

- 2.01 EXISTING WALL TO BE REMOVED IN ITS ENTIRETY. PATCH FLOOR AND PATCH AND PAINT ADJACENT WALLS AS REQUIRED TO MATCH ADJACENT SURFACES WHERE LEFT EXPOSED. REMOVE ALL ELECTRICAL DEVICES AND REMOVE WIRING BACK TO ITS SOURCE.
- 2.05 EXISTING CARBET/VT FLOORING IN ROOM TO BE REMOVED TO SURFACE OF CONCRETE, INCLUDING MASTIC AND RESILIENT BASE. PREP SURFACE FOR NEW FLOORING AS REQUIRED.
- 2.12 EXISTING ACOUSTICAL CEILING TO BE REMOVED IN ITS ENTIRETY. SALVAGE ALL MECHANICAL DIFFUSERS/GRILLES AND ELECTRICAL LIGHTING FIXTURES & DEVICES FOR REUSE.
- 2.22 EXISTING WINDOW TO BE REMOVED IN ITS ENTIRETY. PREP. OPENING FOR NEW WINDOW.
- 2.49 EXISTING CLERK STATIONS TO BE REMOVED IN ITS ENTIRETY. INCLUDING RAISED PLATFORM. PREP SURFACE FOR NEW FLOORING AS REQUIRED.
- 2.50 REMOVE ALL WOOD BASE, WALLCOVERING, WOOD PANELING AND WOOD CHAIR RAIL. PREP WALLS FOR PAINT AND RUBBER BASE.
- 2.52 REMOVE EXISTING SHUTTERS. CLEAN BRICK SURFACE BEHIND.
- 2.53 REMOVE ENTRANCE VESTIBULE IN ITS ENTIRETY. CONCRETE FLOOR TO REMAIN.
- 2.54 REMOVE ACOUSTICAL WALLCOVERING IN ITS ENTIRETY. PREP WALL FOR PAINT.
- 2.55 REMOVE WOOD CHAIR RAIL AND PANELING. ALL WALLS.
- 2.59 EXISTING ROOFTOP UNITS TO REMAIN. PROVIDE NEW PITCH PANS AT EXISTING ELECTRICAL PENETRATIONS.
- 2.60 EXISTING PARTS TO REMAIN.
- 2.69 REMOVE CONCRETE RAMP. PATCH FLOOR AND PATCH AND PAINT ADJACENT WALLS AS REQUIRED TO MATCH ADJACENT SURFACES WHERE LEFT EXPOSED.
- 2.70 REMOVE CONCRETE LANDING TO GREATEST EXTENT POSSIBLE. PATCH FLOOR AND PATCH AND PAINT ADJ. WALLS AS REQ'D TO MATCH ADJACENT SURFACES WHERE LEFT EXPOSED.
- 2.71 EXISTING LANDING TO REMAIN.
- 2.72 REMOVE EXISTING STAIR NOSING AND PREP FLOOR FOR NEW FLOORING.
- 2.73 REMOVE CURTAINS AND VALANCE FROM WINDOW.
- 2.74 SALVAGE AUTOMATIC OPERATOR AND BUTTONS AND DELIVER TO OWNER.
- 4.15 TUCK-POINT BRICK AT BASE FROM PAVING TO 16" ABOVE FOR 50% OF ENTIRE PERIMETER OF BUILDING.



1 DEMO - LEVEL 1
3/16" = 1'-0"



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OMD Remodel
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REVISIONS
1 ADD#1

PROJECT NUMBER
5278.13
DATE
15 DEC 2017
DEMOLITION PLAN

A21.1R

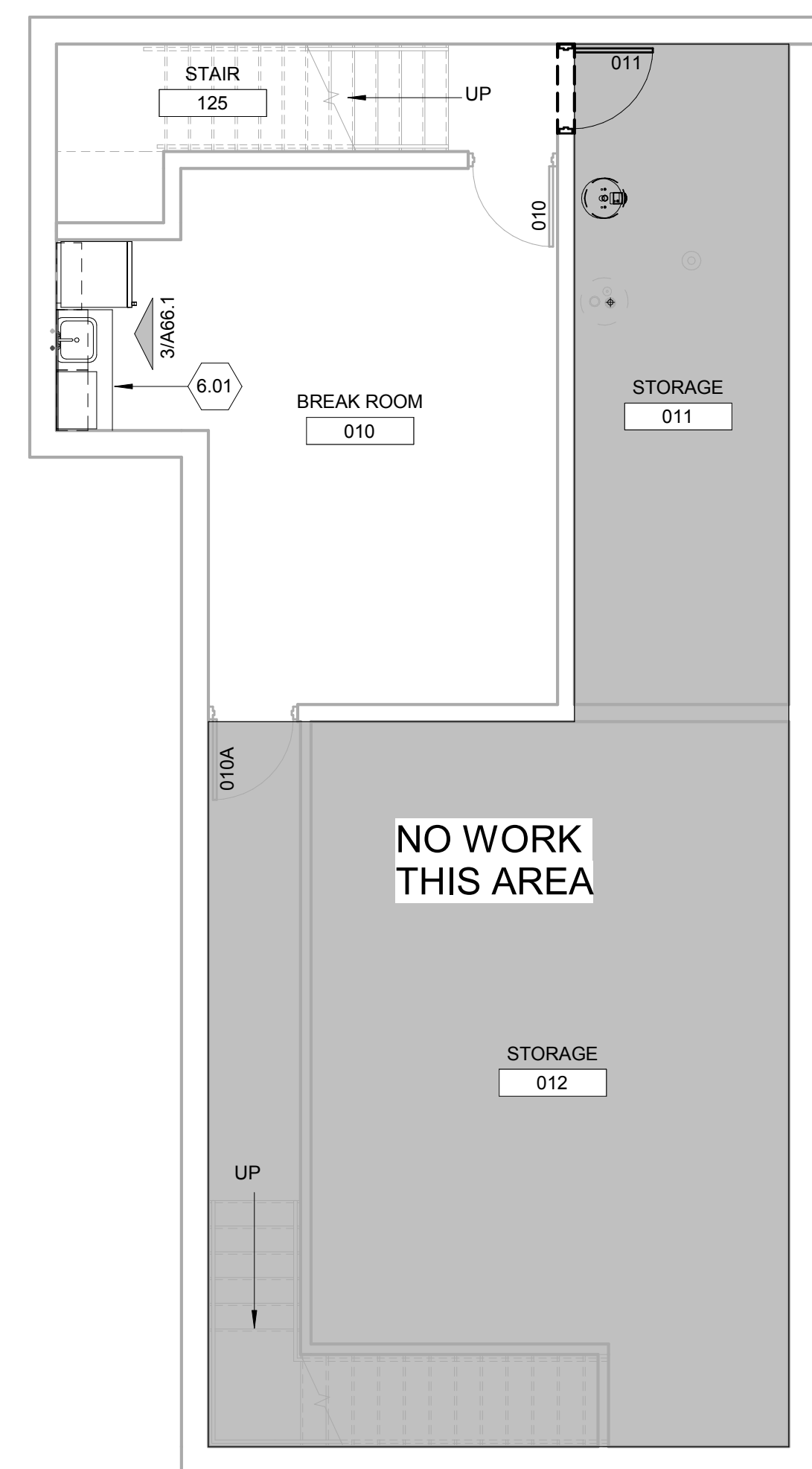
ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH				REMARKS
				NORTH	EAST	SOUTH	WEST	
010	BREAK ROOM	V	R	P	P	P	P	
011	STORAGE	-	-	-	-	-	-	
012	STORAGE	-	-	-	-	-	-	
101	DIRECTOR	C	R	P	P	P	P	
102	CLINICAL PRACTICE	C	R	P	P	P	P	
103	PROGRAM MGR	C	R	P	P	P	P	
104	FUTURE	C	R	P	P	P	P	
105	COPY	C	R	P	P	P	P	
106	RECORDING ROOM	C/E	R	P	P	P	P	
107	CONFERENCE	C/F	R	P	P	P	P	
108	CREDENTIALING	C	R	P	P	P	P	
109	HALLWAY	C	R	P	P	P	P	
110	STORAGE	V	R	P	P	P	P	
111	CONTROL ROOM	V	R	P	P	P	P	
112	QUEING	V/F	R	P	P	P	P	
113	DEBRIEF	C	R	P	P	P	P	
114	OFFICE	C	R	P	P	P	P	
115	WOMENS	-	-	-	-	-	-	
116	MENS	-	-	-	-	-	-	
117	ER	V	R	P	P	P	P	
118	ICU	V	R	P	P	P	P	
119	BAR/CLUB	V	R	P	P	P	P	
120	HALLWAY	V	R	P	P	P	P	
121	LIVING ROOM	V	R	P	P	P	P	
122	BED ROOM	V	R	P	P	P	P	
123	BATHROOM	V	R	P	P	P	P	
124	OUTDOOR	G/E	R	P	P	P	P	
125	STAIR	R	R	P	P	P	P	

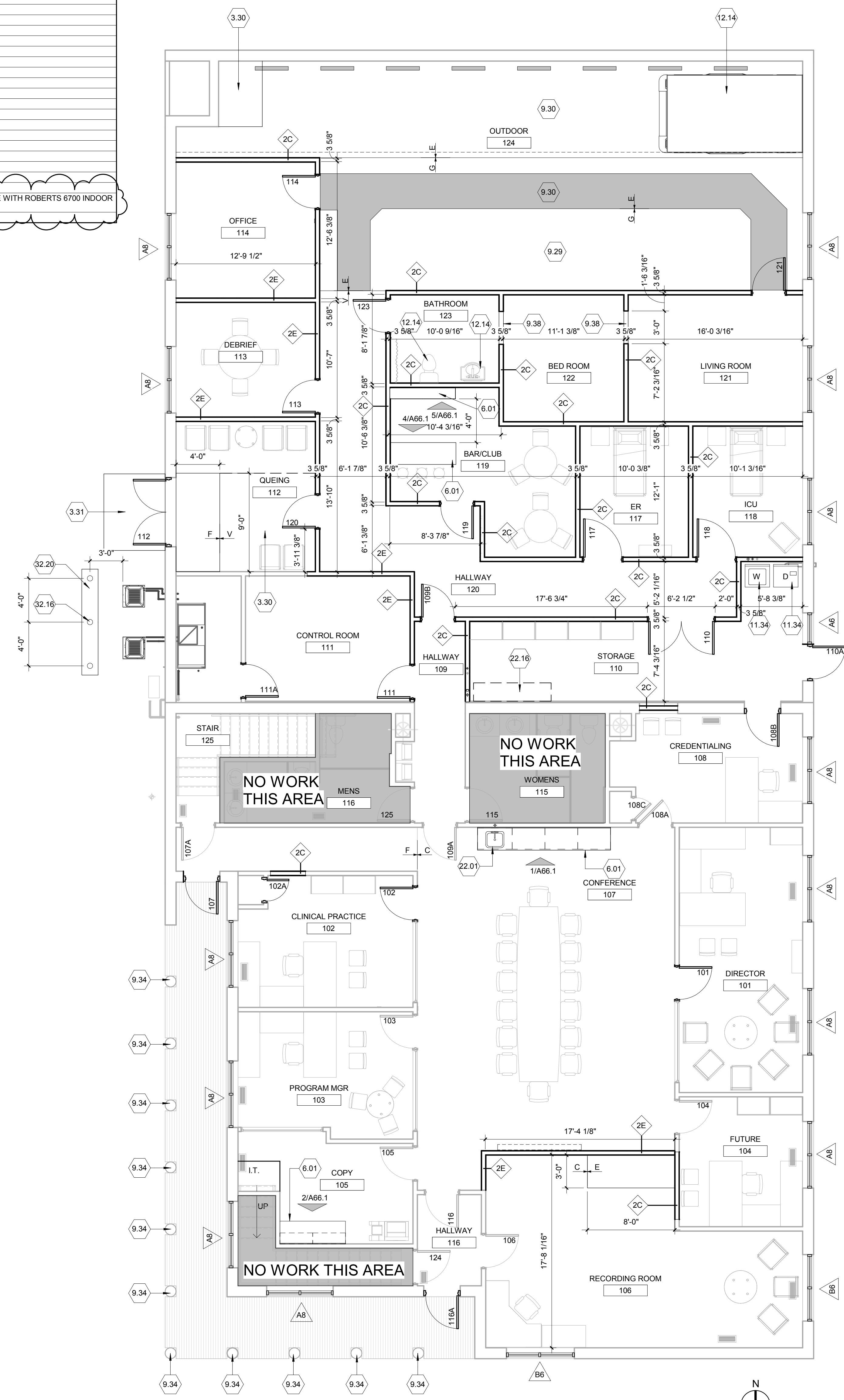
IMITATION GRASS: D61225 GREEN GRASS THATCH 1.5/8" WWW.GRASTURF.COM BY CONTRACTOR ADHERE WITH ROBERTS 6700 INDOOR / OUTDOOR CARPET ADHESIVE. NO VINYL TRANSITIONS REQUIRED.

FINISH SCHEDULE GUIDE

FLOOR:	BASE:	WALL:
C CARPET TILE	R RUBBER BASE	P PAINT
F FLOOR MAT	- NO FIN. REQ. EXISTING	- NO FIN. REQ. EXISTING
G IMITATION GRASS	FINISH TO REMAIN IN	FINISH TO REMAIN IN
V VINYL COMPOSITION TILE	'AS-IS' CONDITION	'AS-IS' CONDITION
E EPOXY PAINT		
R RUBBER		
X SEALED CONC.		
- NO FIN. REQ. EXISTING		
- FINISH TO REMAIN IN		
'AS-IS' CONDITION		



2 BASEMENT PLAN
3/16" = 1'-0"



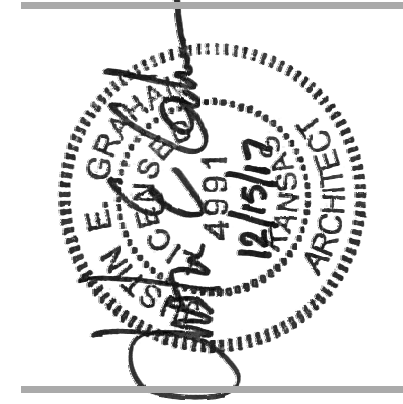
1 FLOOR PLAN - LEVEL 1
3/16" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS PRIOR TO BIDDING
- REFERENCE SHEET G10.1 FOR GRAPHIC SYMBOL AND DRAWING SYMBOL DEFINITIONS.
- HATCHED WALL WITH DARK (BLACK) PERIMETER LINES INDICATE NEW WALLS. EXISTING WALLS SHOWN WITH SCREENED (GRAY) LINES WITH NO FILL.
- SEE ENLARGED PLANS FOR ALL ACCESSORY LOCATIONS THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
- SEE ALL MILLWORK DETAILS FOR ALL CASEWORK GOODS THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
- REPLACE ALL HARDWARE AND HINGES ON EXISTING DOORS THAT ARE REUSED - REF. HARDWARE SCHEDULE.
- ABBREVIATIONS:
 - CJ CONTROL JOINT - REF. DETAIL
 - FEC FIRE EXTINGUISHER AND CABINET - REF. SPEC.
 - FE FIRE EXTINGUISHER AND BRACKET - REF. SPEC.
 - MB MARKER BOARD
 - TB TACKBOARD
 - TS TACKSTRIP
 - PS PROJECTION SCREEN - REF. SPEC.
 - IDB INTERACTIVE DISPLAY BOARD - REF. SPEC. AND ELECTRICAL
 - BL WINDOW BLINDS - REF. SPEC.
 - WS WINDOW SHADES - REF. SPEC.
 - DS DOWNSPOUT LOCATION
 - RD ROOF DRAIN - REF. MECHANICAL
 - OD OVERFLOW ROOF DRAIN - REF. MECHANICAL
 - NIC NOT IN CONTRACT, ITEM PROVIDED AND INSTALLED BY OWNER
 - VIF VERIFY IN FIELD ACTUAL CONDITIONS

KEYED NOTES

- 3.30 INFILL CONCRETE FLOOR SLAB WHERE RAMP WAS REMOVED.
- 3.31 POWER WASH/SANDBLAST EXISTING SLAB AS REQ'D TO REMOVE GLUE FROM ENTRY MAT.
- 6.01 ARCHITECTURAL WOOD CASEWORK - REF. MILLWORK ELEVATIONS, DETAILS AND SPEC.
- 9.29 IMITATION GRASS - FULLY ADHERED, REF. FINISH SCHEDULE.
- 9.30 EPOXY PAINTED FLOOR, REF. SPEC.
- 9.34 PAINT EXTERIOR COLUMNS, TYP.
- 9.38 3'-0" X 6'-0" FINISHED OPENING.
- 11.34 WASHER/DRYER FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- 12.14 PROPS BY OWNER
- 22.01 SINK - REF. PLUMBING
- 22.16 CADAVER SINK FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- 32.16 STEEL BOLLARD FILLED WITH CONCRETE - REF. DETAILS.
- 32.20 CONCRETE STRIP AT BOLLARDS



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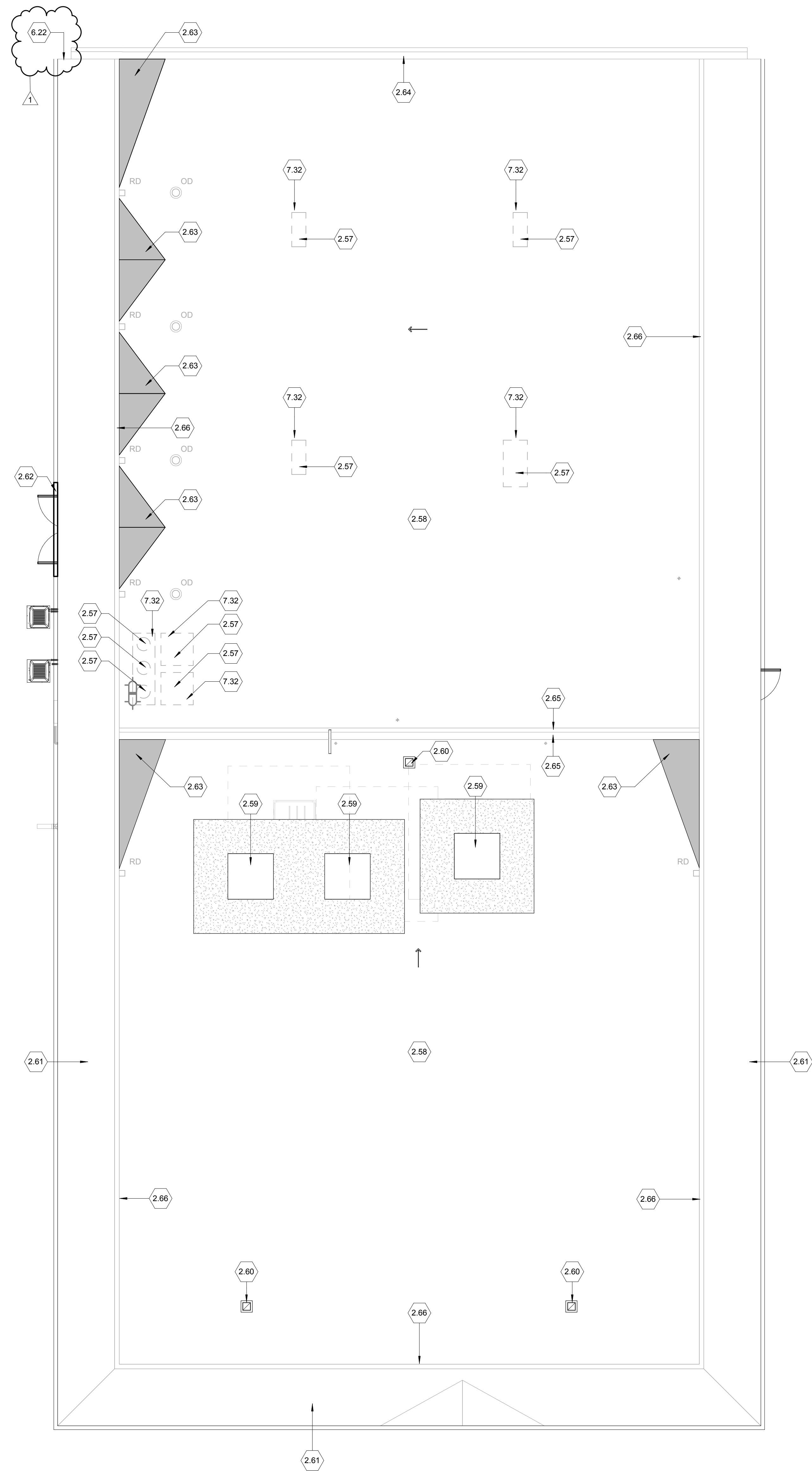
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FLOOR PLAN

A22.1R



1 ROOF PLAN
3/16" = 1'-0"

GENERAL NOTES

- CURB DETAIL FOR ALL ROOFTOP UNITS AND EXHAUST FANS - REF. MECH. FOR ALL LOCATIONS AND ROOF DETAIL.
- FITCH PAN AND HOOD DETAIL FOR REFRIGERANT LINES AND CONDUIT PENETRATIONS AT ROOF - REF. MECH. AND ELEC. FOR ALL LOCATIONS AND ROOF DETAIL.
- PIPE FLASHING THROUGH ROOF - REF. MECH. FOR ALL LOCATIONS AND ROOF DETAIL.
- GAS PIPE SUPPORTS - REF. MECH. FOR ALL LOCATIONS AND ROOF DETAIL.
- ROOF DRAINS AND OVERFLOW ROOF DRAINS
 - OVERFLOW ROOF DRAIN INLET SHALL BE LOCATED 2' VERTICALLY FROM ADJACENT ROOF DRAIN INLET.
 - WHERE ROOF DRAIN AND OVERFLOW ROOF DRAIN ARE SHOWN ADJACENT TO EACH OTHER, PROVIDE 2" RING IN OVERFLOW ROOF DRAIN.
- REF. MECHANICAL AND ELECTRICAL FOR ALL ROOF PENETRATION SIZES AND LOCATIONS.
- ALL TAPERED INSULATION SHALL BE 1/4" PER FOOT SLOPE MINIMUM FROM THE HORIZONTAL - REF. ROOF PLAN FOR LOCATIONS.
- ROOF FLOW LINE DIRECTION IS SHOWN FOR REFERENCE.
- CONTRACTOR TO VERIFY ALL EXISTING BUILDING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOT ALL EXISTING EQUIPMENT AND ROOFTOP EQUIPMENT IS SHOWN FOR. G.C. TO COORDINATE ALL NEW WORK AROUND EXISTING EQUIPMENT TO REMAIN.
- AT SINGLE PLY MEMBRANE ROOFING: INSTALL WALKWAY PADS AROUND ROOFTOP EQUIPMENT - 3' WIDE - REF. SPEC.

SYMBOL LEGEND

- RD ROOF DRAIN - REF. MECH. & DETAILS
- OD OVERFLOW ROOF DRAIN - REF. MECH. & DETAILS
- ROOF HOOD OR EXHAUST HOOD - REF. MECH., ELEC. & DETAILS
- ROOF PITCH AND DIRECTION OF FLOW (PER FOOT SLOPE)
- WALK PAD - AROUND ALL AHU AND ROOF HATCHES AND AT DOORS.
- TAPERED CRICKET

KEYED NOTES

- 2.57 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. SEE MECHANICAL REMOVE EXISTING MODIFIED BITUMEN DOWN TO EXISTING COVERBOARD OVER EXISTING INSULATION OVER METAL DECK. MECHANICALLY FASTEN EXISTING COVERBOARD, INSULATION, AND METAL DECK TO REMAIN. REDUCE DAMAGE TO COVERBOARD AS MUCH AS POSSIBLE. CHECK FOR EXCESS MOISTURE DAMAGE OR DETERIORATION. REPAIR COVERBOARD WITH LOW EXPANSION FOAM TO LEVEL ANY DAMAGE OR REPLACE. FULLY ADHERE NEW COVERBOARD AND NEW TOP MEMBRANE.
- 2.58 EXISTING ROOFTOP UNITS TO REMAIN. PROVIDE NEW PITCH PANS AT EXISTING ELECTRICAL PENETRATIONS.
- 2.59 EXISTING VENTS TO REMAIN.
- 2.60 EXISTING SHINGLED ROOF AND GUTTERING TO REMAIN.
- 2.61 INFILL WITH NEW GUTTERING WHERE ENTRY VESTIBULE WAS REMOVED. PROVIDE NEW CRICKET WITH RIGID INSULATION BENEATH NEW COVERBOARD.
- 2.62 EXTEND NEW ROOFING UP BACK OF PARAPET WALL. OVER COPING AND DOWN FACE OF WALL MIN. 2". PROVIDE NEW PRE-FIN. MTL. COPING CAP OVER ENTIRE TOP OF PARAPET.
- 2.63 EXTEND NEW ROOFING OVER TOP OF EXISTING PARAPET WALL. OVER ENTIRE TOP OF PARAPET.
- 2.64 EXTEND NEW ROOFING UP BACK OF MANSARD, OVER TOP AND DOWN FACE OF MANSARD MIN. 2". PROVIDE NEW PRE-FIN. MTL. COPING CAP OVER ENTIRE TOP OF PARAPET.
- 2.65 REPLACE ROTTED TRIM AT NORTH END OF MANSARD WITH NEW PAINTED WOOD TRIM.
- 6.22 PAINT HOLES IN ROOF AFTER MECHANICAL EQUIPMENT IS REMOVED PRIOR TO APPLYING NEW ROOF. USING NEW INSULATION AS REQUIRED.
- 7.32



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